

TRACT AREA	8.55 AC
ADDRESS	372,438 SF
ZONING	294 MILITARY CUTOFF RD.
PROPOSED UNITS	98
2 BEDROOM UNITS	90
1 BEDROOM UNITS	8
UNITS PER ACRE	11.46
TAX PIN	R04300-005-001-000
DEED BOOK/PAGE	6029/2271
CANA LUC	WATERSHED RESOURCE PROTECTION
BUILDING SETBACKS	
FRONT	35'
SIDE	20'
REAR	20'
MAX. BUILDING HEIGHT	35'
MAX. NUMBER OF STORIES	2
IBC CONSTRUCTION TYPE	TYPE III
EXISTING IMPERVIOUS	36,369 SF
PROPOSED IMPERVIOUS	230,000 SF (5.28 AC)
% IMPERVIOUS	61.8%
BUILDING LOT COVERAGE	8.6 AC
AREA OF DISTURBANCE	2.78 ACRE (PONDS EXCLUDED)
35% REO'D OPEN SPACE	1.4 AC
ACTIVE AREA PROVIDED	1.6 AC
PASSIVE AREA PROVIDED	1.6 AC
RECEIVING STREAM	HOWE CREEK
CLASSIFICATION	SA1DRW
MIN. REQUIRED PARKING	192 SPACES
MAX. REQUIRED PARKING	245 SPACES
PROP. PARKING SPACES	224 SPACES PROVIDED
MIN. HANDICAP PROVIDED	16 SPACES
BICYCLE PARKING SPACES	10 PROVIDED
EX. WATER DEMAND	13,200 GPD
PROP. WATER DEMAND	39,200 GPD
EX. SEWER DEMAND	11,880 GPD
PROP. SEWER DEMAND	35,280 GPD

SITE DATA

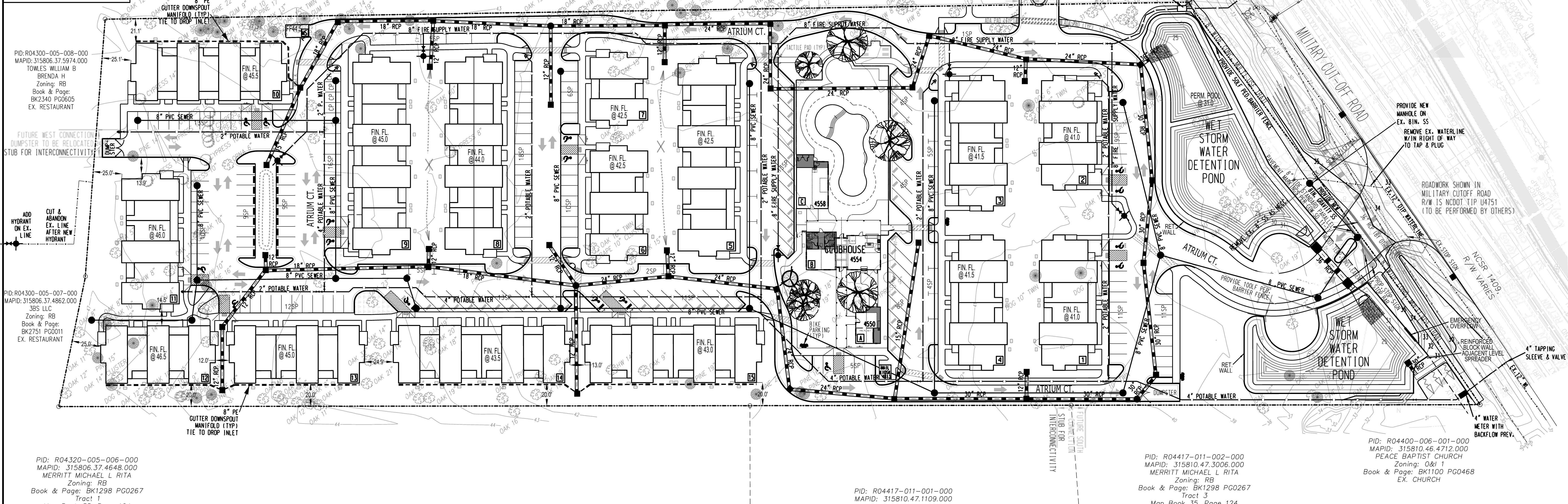
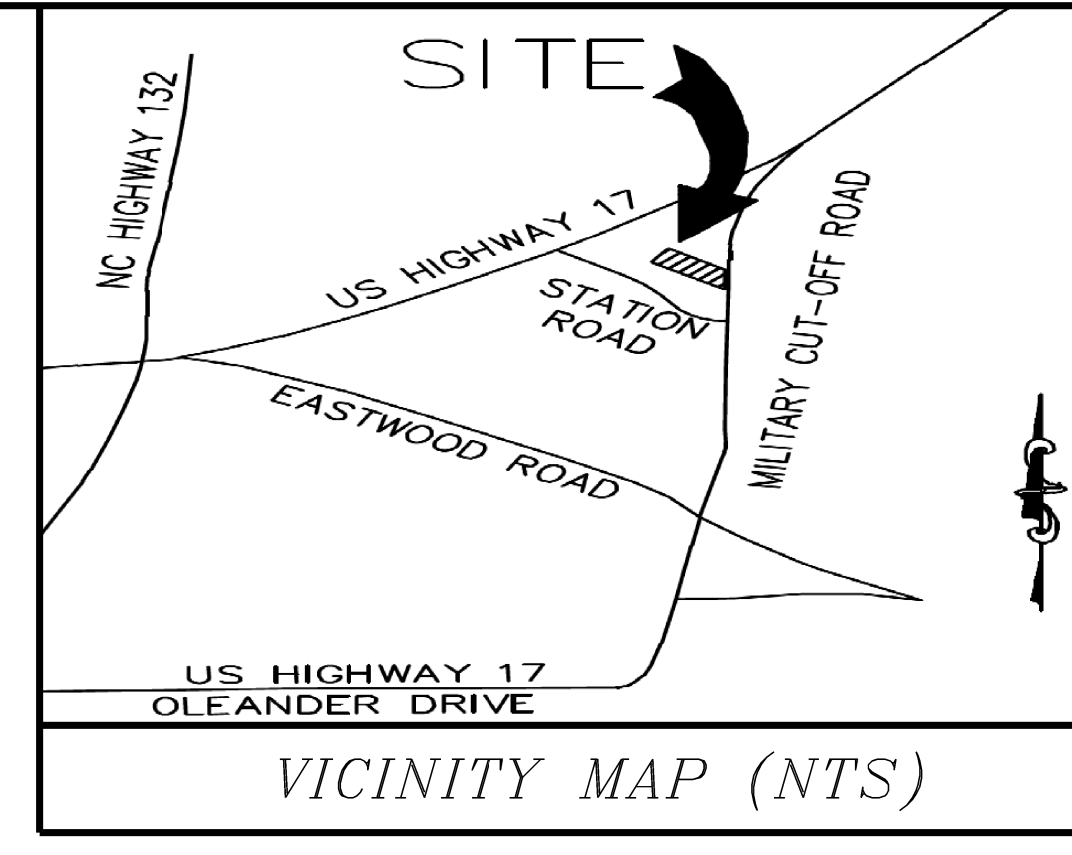
LEGEND	
	PROJECT BOUNDARY
	WATER MAIN
	GRAV. SEWER & MANHOLE
	STORM DRAIN
	WETLAND LINE
	EX. CONTOURS
	PROP. BACK OF CURB ELEV. X34.5BC
	FINISH PAVEMENT EL. X34.5FP
	PROP. DRAINAGE DIR.
	DISTURBED AREA
	GATE VALVE
	HYDRANT ASSEMBLY
	DENOTES EX. TREE
	DENOTES 5 BIKE RACK

VILLAGE TOWNHOME IMPERVIOUS SUMMARY

Job #: PW1312
 Engineer: JHF
 REVISED 5/3/2019
 REVISED 1/28/2020

BOUNDARY AREA =	372,438 SF	8.55 AC
TOWNHOME TYPE		
9 UNIT BLDGS =	3	7987 SF
8 UNIT BLDGS =	2	7179 SF
7 UNIT BLDG =	1	6369 SF
3 UNIT BLDG =	1	2940 SF
5A UNIT BLDGS =	2	4655 SF
5B UNIT BLDGS =	1	4349 SF
6A UNIT BLDGS =	2	5465 SF
6B UNIT BLDGS =	3	5159 SF
TOTAL TOWNHOME COVER		87,694 SF
CLUBHOUSE =		2644 SF
MAINTENANCE SHED =		220 SF
BUILDING COVER	TOTAL=	90,558 SF
	BUILDING COVER PERCENTAGE	24%
PARKING IMPERVIOUS		
MILITARY R/W DRIVEWAY	3,014 SF	Consider as future reserve
ONSITE PARKING AND DRIVE AISLES	105,636 SF	
TOTAL=	105,636 SF	
SIDEWALK IMPERVIOUS		
MILITARY CUTOFF R/W	1,927 SF	Consider as future reserve
ONSITE SIDEWALKS	25,464 SF	
TOTAL=	25,464 SF	
TOTAL ONSITE IMPERVIOUS		
FUTURE RESERVE	221,658 SF	
TOTAL BNDY	372,438 SF	8.55 AC
TOTAL IMPERVIOUS	230,000 SF	5.28 AC
IMPERVIOUS PERCENTAGE		61.8%

- ### SHEET INDEX
- PRELIMINARY PLAN
 - EXISTING CONDITIONS/TREE PRESERVATION
 - SITE GEOMETRY PLAN
 - TYPICAL BUILDING ELEVATIONS
 - SOIL EROSION AND SEDIMENTATION CONTROL/STORMWATER PLAN
 - DRAINAGE/GRADING PLAN
 - DRAINAGE AREAS MAP
 - RETAINING WALL PLAN & PROFILE
 - SOIL EROSION AND SEDIMENTATION CONTROL/STORMWATER PLAN DETAILS
 - NPDES SPECIFICATIONS
 - NPDES SPECIFICATIONS
 - UTILITY PLAN
 - PLAN/PROFILE
 - PLAN/PROFILE
 - PLAN/PROFILE
 - DRIVEWAY PLAN
 - DRIVEWAY PROFILE
 - LANDSCAPE PLAN OVERVIEW
 - LANDSCAPE PLAN PLANTINGS FRONT SITE
 - LANDSCAPE PLAN PLANTINGS MID SITE
 - LANDSCAPE PLAN PLANTINGS REAR SITE



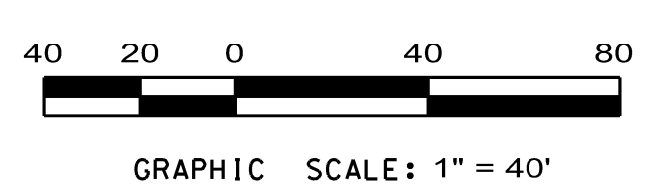
PID: R04320-005-006-000
 MAPID: 315806.37.4648.000
 MERRITT MICHAEL L RITA
 Zoning: RB
 Book & Page: BK1298 PG0267
 Tract 1
 Map Book 35, Page 124
 EX. CAR & BOAT RETAIL

APPROVED CONSTRUCTION PLAN
 DATE: APRIL 16, 2020
 PROJECT #: 2018020
 STORMWATER PERMIT #: 2019054

PID: R04417-011-001-000
 MAPID: 315810.47.1109.000
 CREB PROPERTIES LLC
 Zoning: RB
 Class: COM
 Book & Page: BK5884 PG2008
 Tract 2
 Map Book 35, Page 124
 MARINE SALVAGE

PID: R04417-011-002-000
 MAPID: 315810.46.4712.000
 MERRITT MICHAEL L RITA
 Zoning: RB
 Book & Page: BK1298 PG0267
 Tract 3
 Map Book 35, Page 124
 EX. CHURCH

PID: R04400-006-001-000
 MAPID: 315810.46.4712.000
 PEACE BAPTIST CHURCH
 Zoning: O&I
 Book & Page: BK1100 PG0468
 EX. CHURCH



PRELIMINARY PLAN

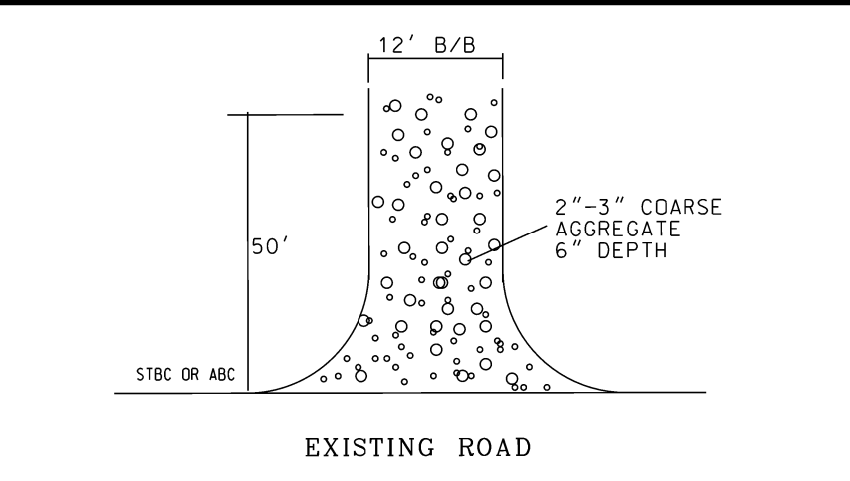
VILLAGE TOWNHOMES

(FORMERLY ARBORETUM VILLAGE)

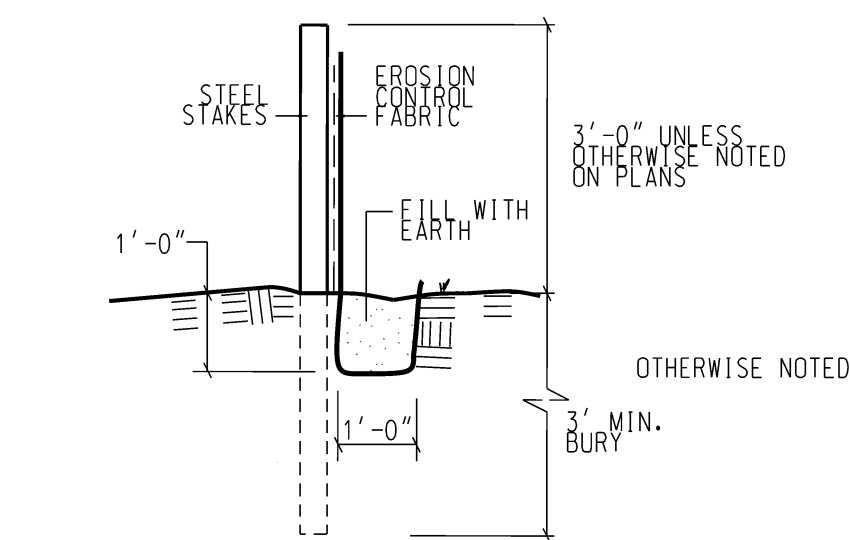
CITY OF WILMINGTON, NORTH CAROLINA

OWNER: ARBORETUM VILLAGE, LLC	DESIGNED: JHF
ADDRESS: 10 S. CARDINAL DRIVE WILMINGTON, N.C. 28403	DRAWN: JHF
PHONE:	APPROVED: JHF
	DATE: 8/31/18
102-D CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403 (910) 815-0715 (910) 815-0593 FAX	SCALE: 1" = 40'
C-0647	SHEET 1 OF 21

PROJECT NO.: PW 1312

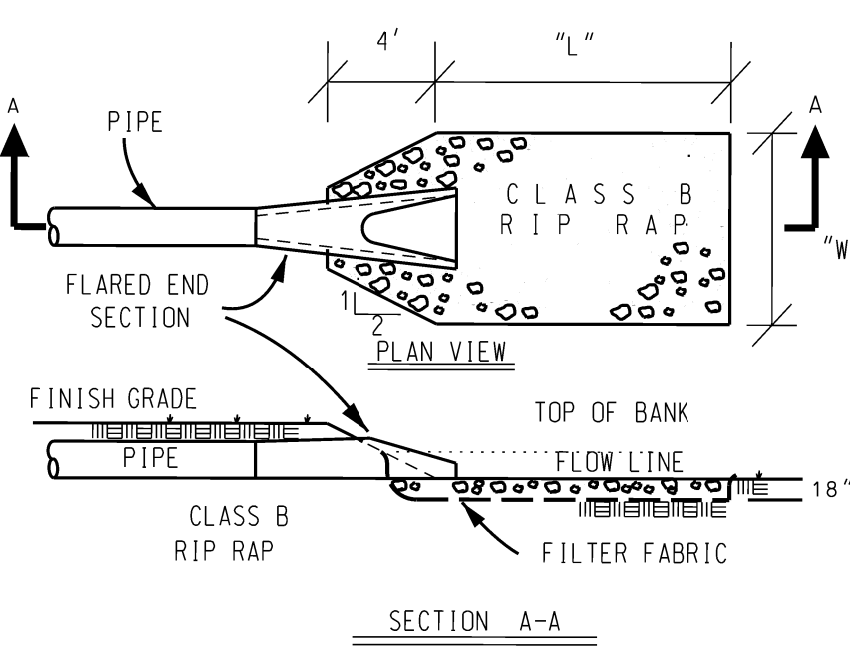


TEMPORARY CONSTRUCTION ENTRANCE DETAIL
NTS



TYPICAL SILT FENCE
NTS

NOTES:
POSTS TO BE SPACED 6 FT O.C.
UTILIZE COIR MESH W/ 10 GAUGE 6 X 6 WIRE MESH REINFORCEMENT FOR BATTENS



RIP RAP APRON DETAIL
NTS

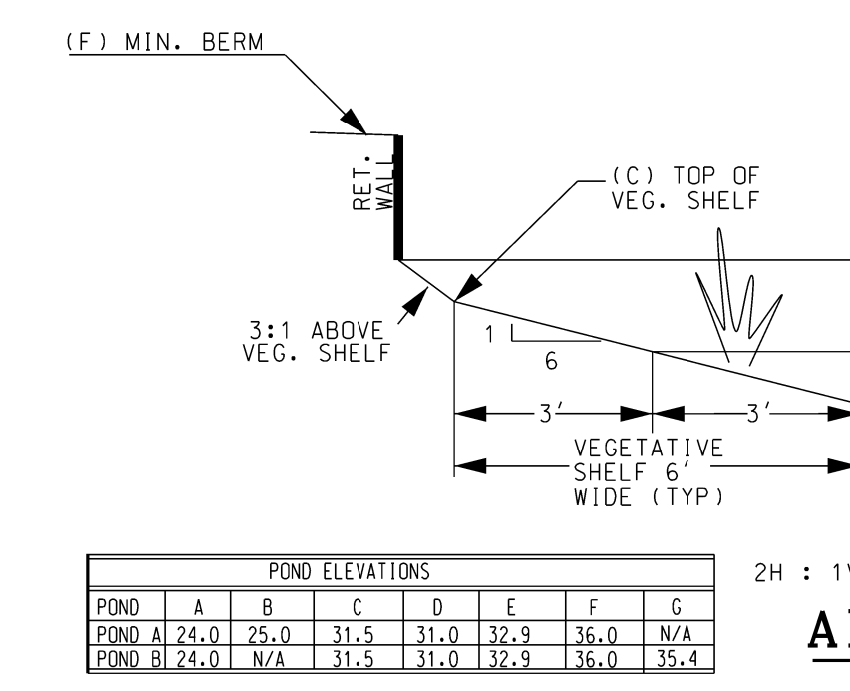
RIP RAP APRON SCHEDULE		
PIPE LENGTH	WIDTH	FILTER FABRIC TO BE TREVIRA SPUNBOUND TYPE 11/120
36"	18.0'	9.0'

RIP RAP APRONS SHALL BE PROVIDED ON DOWNSTREAM ENDS OF CULVERT FLOW END SECTIONS

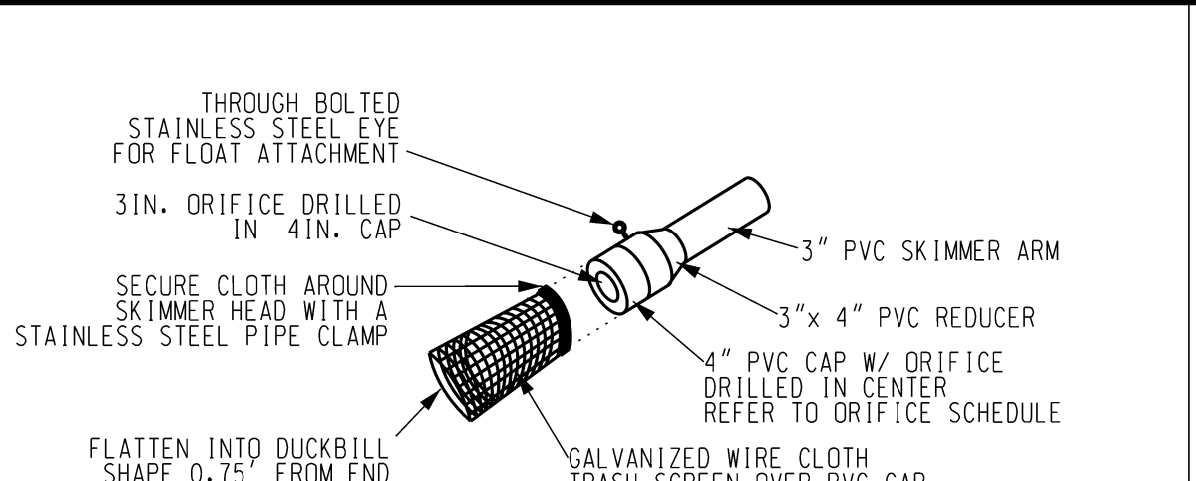
COASTAL PLAIN SITE STABILIZATION SCHEDULE

1. Fertilize and lime per recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.
2. Incorporate lime/fertilizer 4-6 inches.
3. Roughen steep slopes by tracked machinery.
4. Select species based on season. Refer to tables.
5. Broadcast seeds evenly and cover by raking or dragging a chain. Firm soil by rolling.
6. Apply straw mulch at a rate 1-2 tons per acre. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool.
7. A disk with blades set nearly straight can be used as a mulch anchoring tool.
8. Refertilize if growth is not fully adequate. Reseed, referatize and mulch immediately following erosion or other damage.

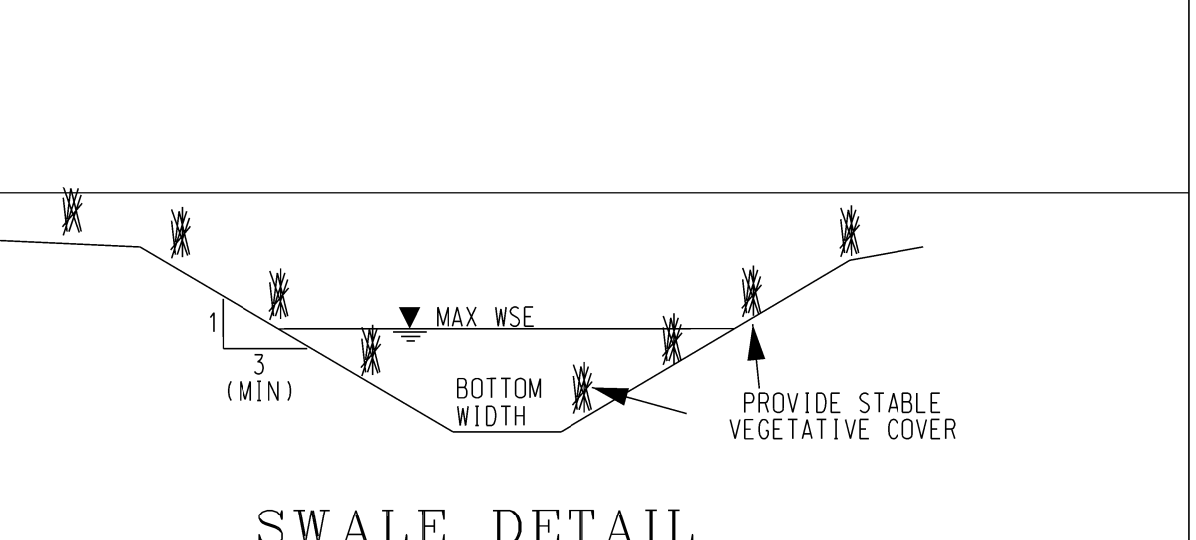
- SOD INSTALLATION**
1. Fertilize and lime per recommendations of soil tests or apply 100 lb/1,000 sq ft ground agricultural limestone and 25 lb/1,000 sq ft fertilizer. In the fall, use 10-10-10. In the spring, use 5-10-10.
 2. Incorporate lime/fertilizer 4-6 inches.
 3. Rake or harrow to achieve a smooth final grade.
 4. Roll to achieve a smooth, firm surface on which to lay the sod.
 5. Lightly rake and irrigate top layer of soil just prior to installation.
 6. Lay sod in a staggered, brick-like pattern with the longest dimension perpendicular to the slope. Avoid gaps. Use a knife to fit irregular shapes.
 7. Roll sod lightly after installation to ensure good soil to soil contact.
 8. Irrigate initially to wet soil to a depth of 4". Keep soil moist for 2-3 weeks thereafter or until sod has taken root.



POND ELEVATIONS						
POND	A	B	C	D	E	F
POND A	24.0	25.0	31.5	31.0	32.9	36.0
POND B	24.0	N/A	31.5	31.0	32.9	36.0

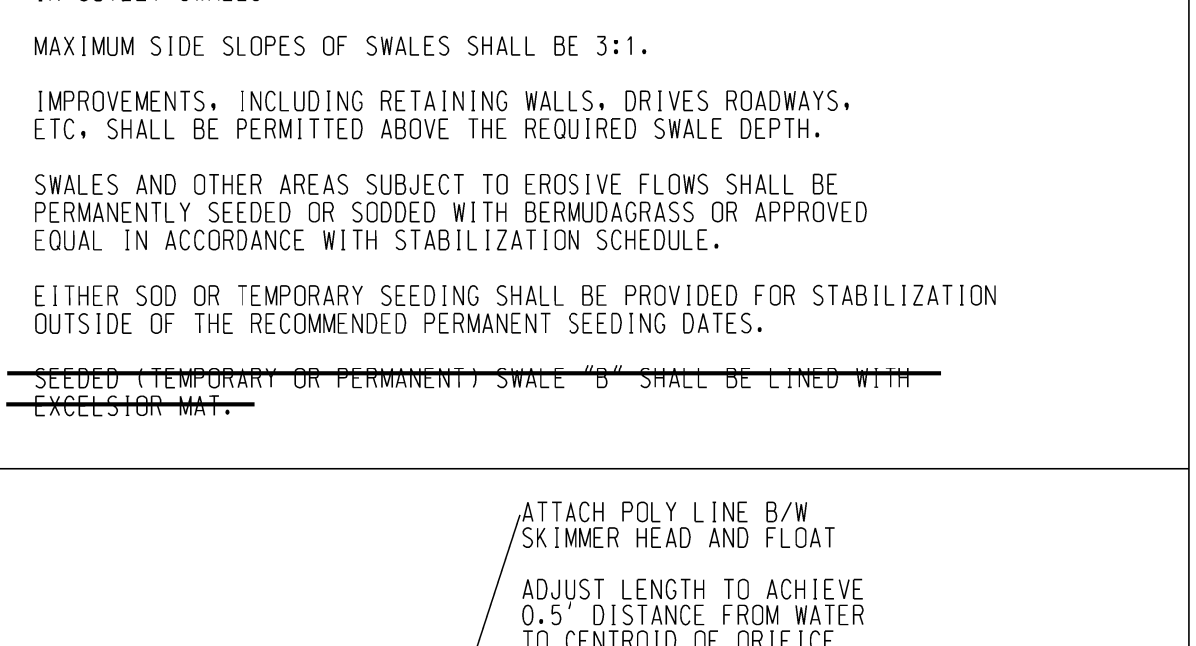


SKIMMER HEAD DETAIL
NTS

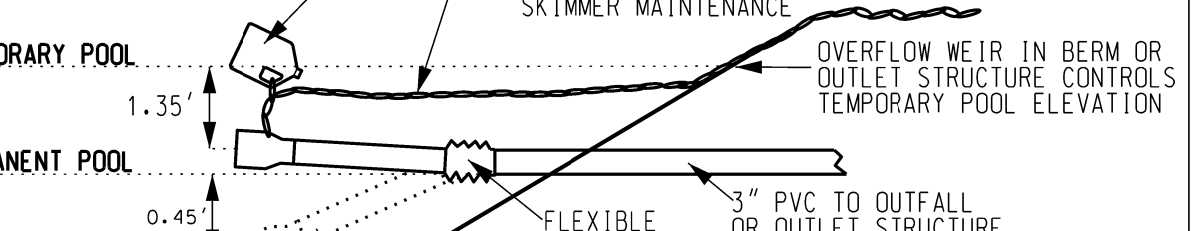


SWALE DETAIL
NTS

SWALE NOTES:
THE REQUIRED DEPTH INCLUDES THE FLOW DEPTH OF THE 10 YEAR STORM PLUS 0.5' OF FREEBOARD.
THE MAXIMUM FLOW 10 YEAR STORM FLOW VELOCITY IS 2.0 FPS IN OUTLET SWALES.
MAXIMUM SIDE SLOPES OF SWALES SHALL BE 3:1.
IMPROVEMENTS, INCLUDING RETAINING WALLS, DRIVES ROADWAYS, ETC. SHALL BE PERMITTED ABOVE THE REQUIRED SWALE DEPTH.
SWALES AND OTHER AREAS SUBJECT TO EROSION FLOWS SHALL BE PERMANENTLY SEED OR SODDED WITH BERMUDAGRASS OR APPROVED EQUAL IN ACCORDANCE WITH STABILIZATION SCHEDULE.
EITHER SOD OR TEMPORARY SEEDING SHALL BE PROVIDED FOR STABILIZATION OUTSIDE OF THE RECOMMENDED PERMANENT SEEDING DATES.
SEEDS (TEMPORARY OR PERMANENT) SHALL BE LINED WITH EXCELSTOR MAT.



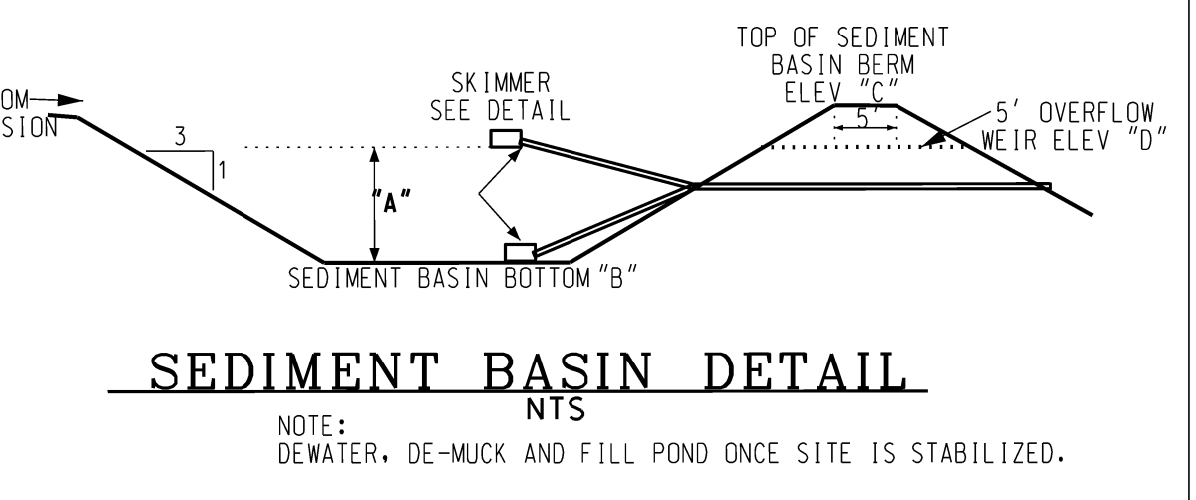
SKIMMER ASSEMBLY DETAIL
NTS



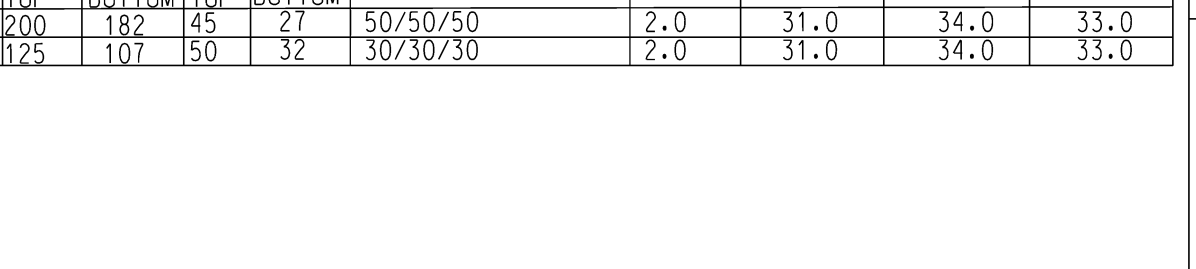
SEDIMENT BASIN DETAIL
NTS

SEDIMENT BASIN SCHEDULE							
BASIN	TOP	BOTTOM	TOP	BOTTOM	BATTEN SPACING (FT)	"A" (FT)	"B" (ELEV)
A	20.0	18.2	4.5	2.1	50/50/50	2.0	31.0
B	12.5	10.7	5.0	3.2	30/30/30	2.0	31.0

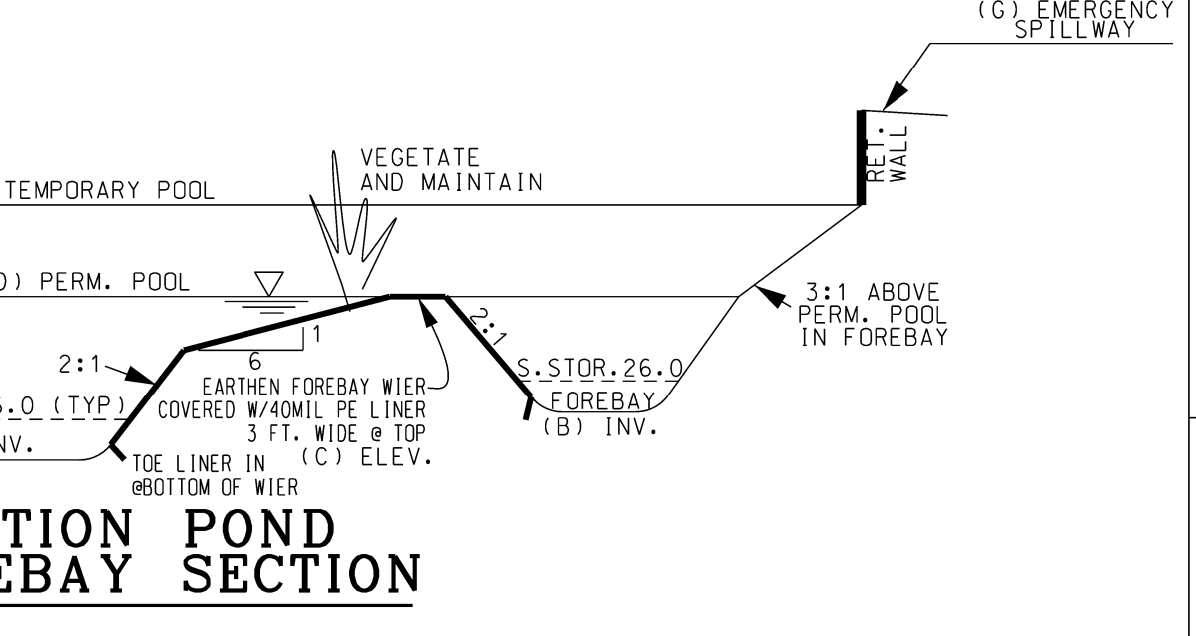
NOTE: Dewater, de-muck and fill pond once site is stabilized.



BAFFLE DETAIL
NTS



DIVERSION BERM
NTS



STANDARD DROP INLET
NTS

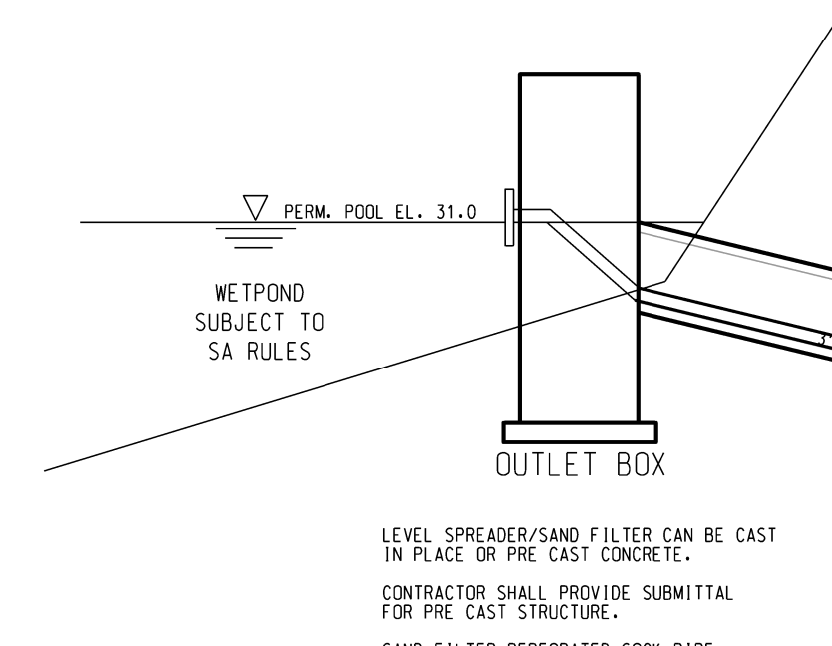
DIMENSIONS OF AREA TO BE OPENED						
D	A	B	C	D	E	F
OS 1	31.0	3"	32.9	35.0	24.0	30"

PERMANENT SEEDING TABLE 1			
Seeding Dates	Recommended Planting	Rate (lb/ac)	
Feb. 15 - Apr. 1	Tall Fescue Mixture	80	
Sep. 1 - Nov. 1	Hybrid Bermudagrass	50	TABLE 2
Apr. 1 - Aug. 1	Common Bermudagrass	see table 2	
Mar. 1 - Jul. 1	Centipedegrass	see table 2	

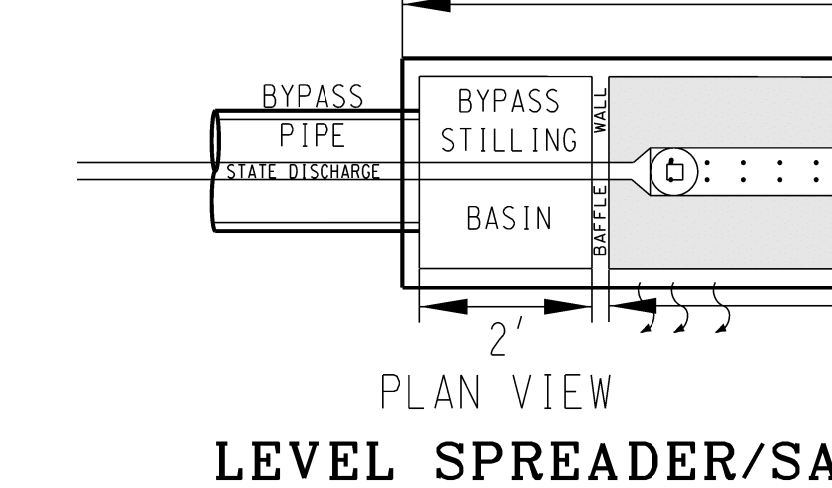
PERMANENT SEEDING TABLE 2a-Low MAINTENANCE MIXTURES			
Site Description	Recommended Planting	Rate (lb/ac)	
Well to poorly drained soils	Pensacola Bahiagrass	80	
	Common Bermudagrass	50	
	Kobe Lespedeza	50	
	German Millet	10	
Dry to well drained soils	Pensacola Bahiagrass	40	
	Common Bermudagrass	50	
	Kobe Lespedeza	50	
	German Millet	10	
Swales	Common Bermudagrass	10	

PERMANENT SEEDING TABLE 2b-HIGH MAINTENANCE MIXTURES			
Site Description	Recommended Planting	Rate (lb/ac)	
Well to poorly drained soils	Tall Fescue Mixture	80	
	Rye Grain	25	
Dry to well drained soils	Hybrid Bermudagrass	50	
Well drained sandy loam to sand-loams.	Centipedegrass	10-20	

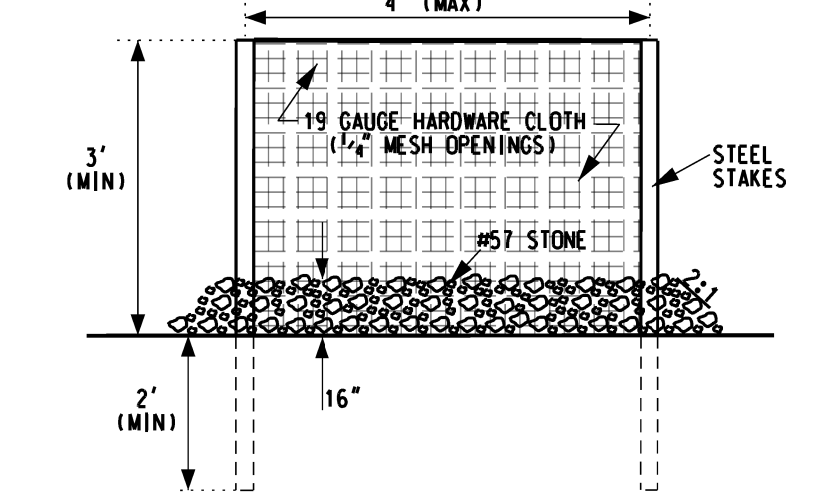
Notes:
For seeding outside of recommended dates and/or for temporary stabilization, refer to temporary seeding tables.
For highly erosive areas or as directed by an engineer, sod shall be provided.



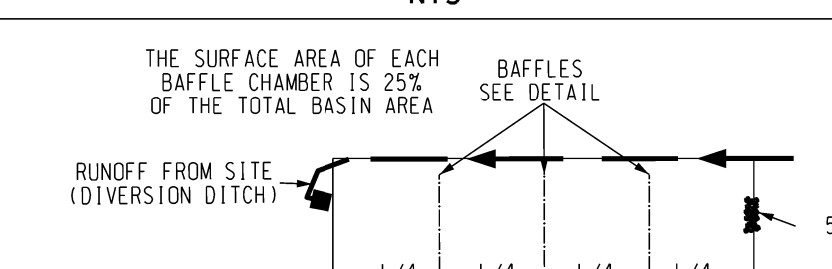
TYPICAL INLET PROTECTION
NTS



POND OUTLET STRUCTURE
NTS



BAFFLE DETAIL
NTS



DIVERSION BERM
NTS

DIMENSIONS OF AREA TO BE OPENED						
D	A	B	C	D	E	F
OS 1	31.0	3"	32.9	35.0	24.0	30"

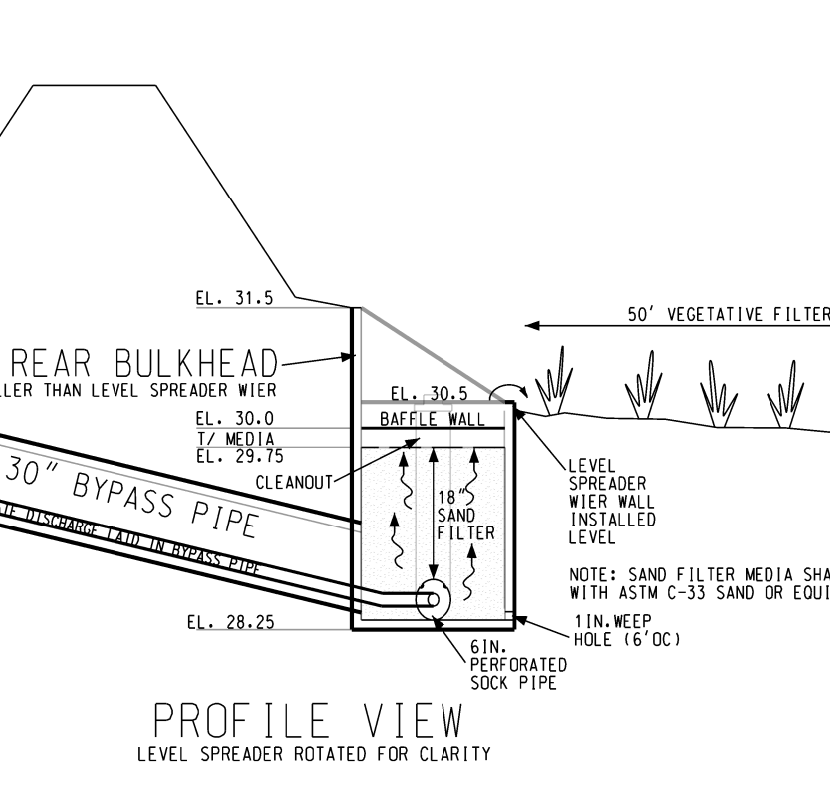
- CONSTRUCTION SEQUENCE**
1. INSTALL STONE CONSTRUCTION ENTRANCE AT MILITARY CUTOFF ROAD.
 2. INSTALL SILT FENCE AND TREE PROTECTION.
 3. CLEAR & GRADE FOR SEDIMENT BASIN-PONDS A & B AND CONNECTING PIPE.
 4. INSTALL STORMWATER SEDIMENT BASIN-PONDS A & B AND PROMOTE DRAINAGE TO BOTH.
 5. CLEAR & GRADE SITE.
 6. INSTALL UNDERGROUND UTILITIES.
 7. PROVIDE VEGETATIVE COVER IN ACCORDANCE TO NPDES SPECIFICATIONS.
 8. INSTALL CURB, GUTTER, AND PAVEMENT.
 9. PROVIDE 100% VEGETATIVE COVER OF ALL DISTURBED SOILS.

802.2 Silt Fence
The work under this section shall consist of furnishing, installing, maintaining, and removing and disposing of silt fence as designated on the plans or in the Contract Documents, or as required by the Engineer. Material for silt fences shall meet the following minimum requirements as set forth in the Wisconsin Construction Site Best Management Practice Handbook.

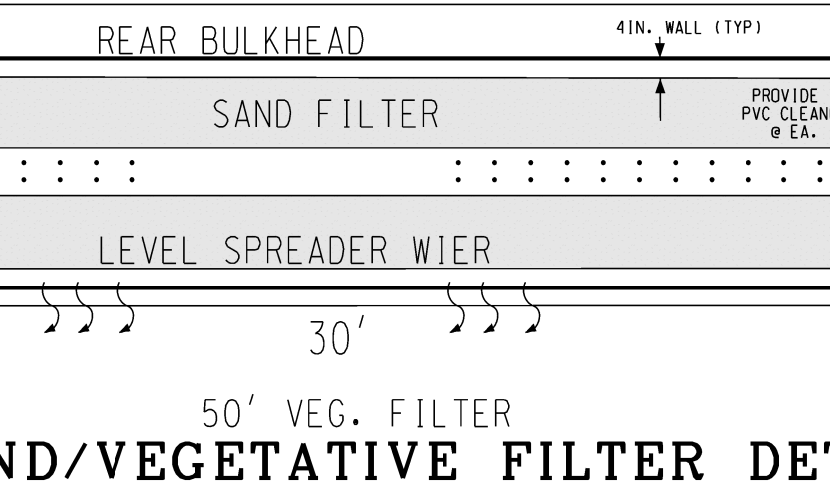
- a. Grab Strength: 100 lb. Minimum in any principal direction (ASTM D-1682)
- b. Mullen Burst: Minimum 200 psi (ASTM D-3786)
- c. Equivalent Opening Size: Between 50 and 140 for soils with more than 15% by weight passing a No. 200 sieve, between 20 and 50 for soils with less than 15% by weight passing a No. 200 sieve.

SILT FENCE SPECIFICATIONS

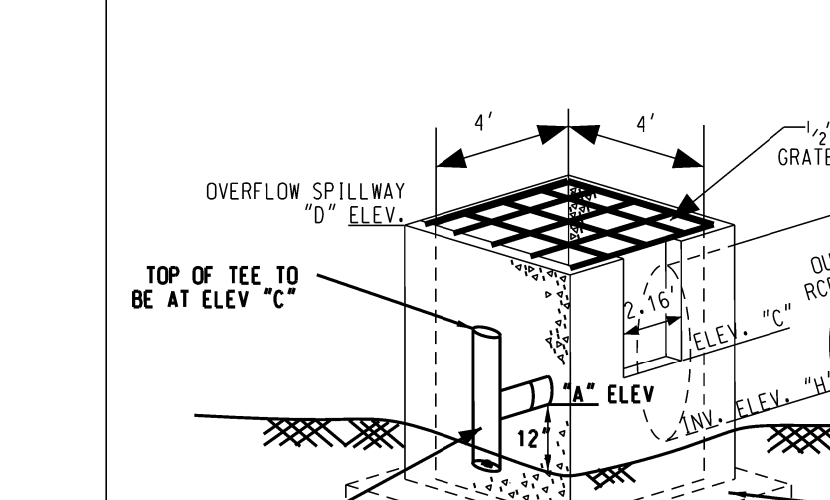
NOTE:
ALL SCM'S IMPACTED BY EROSION DURING THE CONSTRUCTION PHASE SHALL BE CLEANED OUT AND CONVERTED TO ITS APPROVED DESIGN STATE ONCE CONSTRUCTION IS COMPLETE.



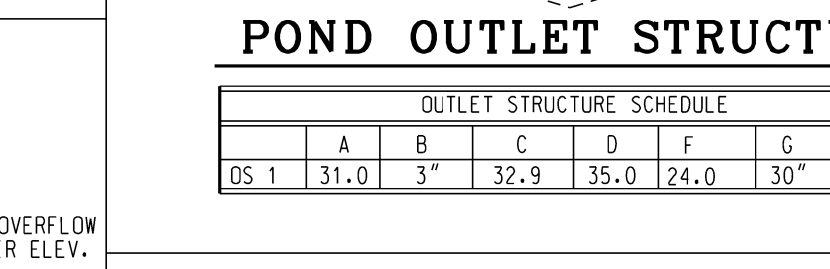
EMERGENCY SPILLWAY DETAIL
NTS



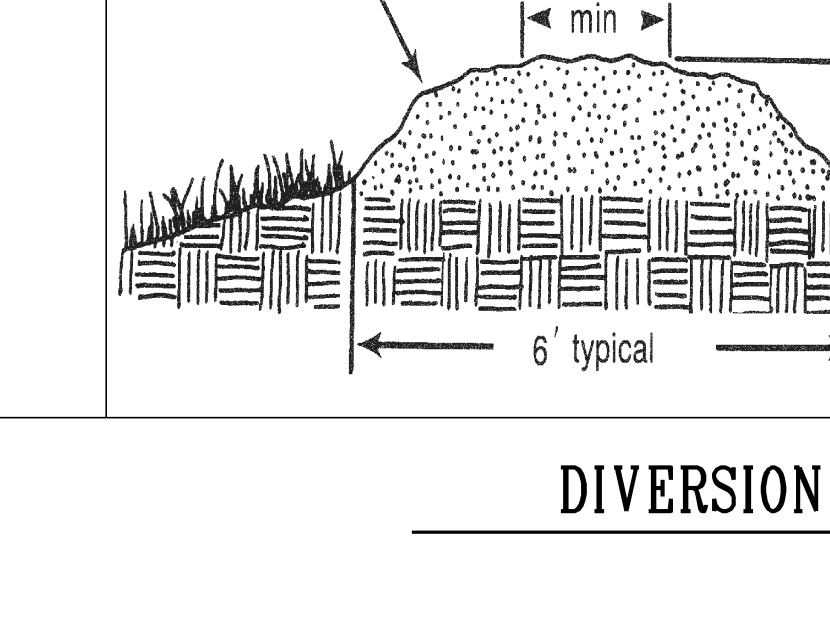
STANDARD BRICK CATCH BASIN DETAIL
NTS



POND OUTLET STRUCTURE
NTS



BAFFLE DETAIL
NTS



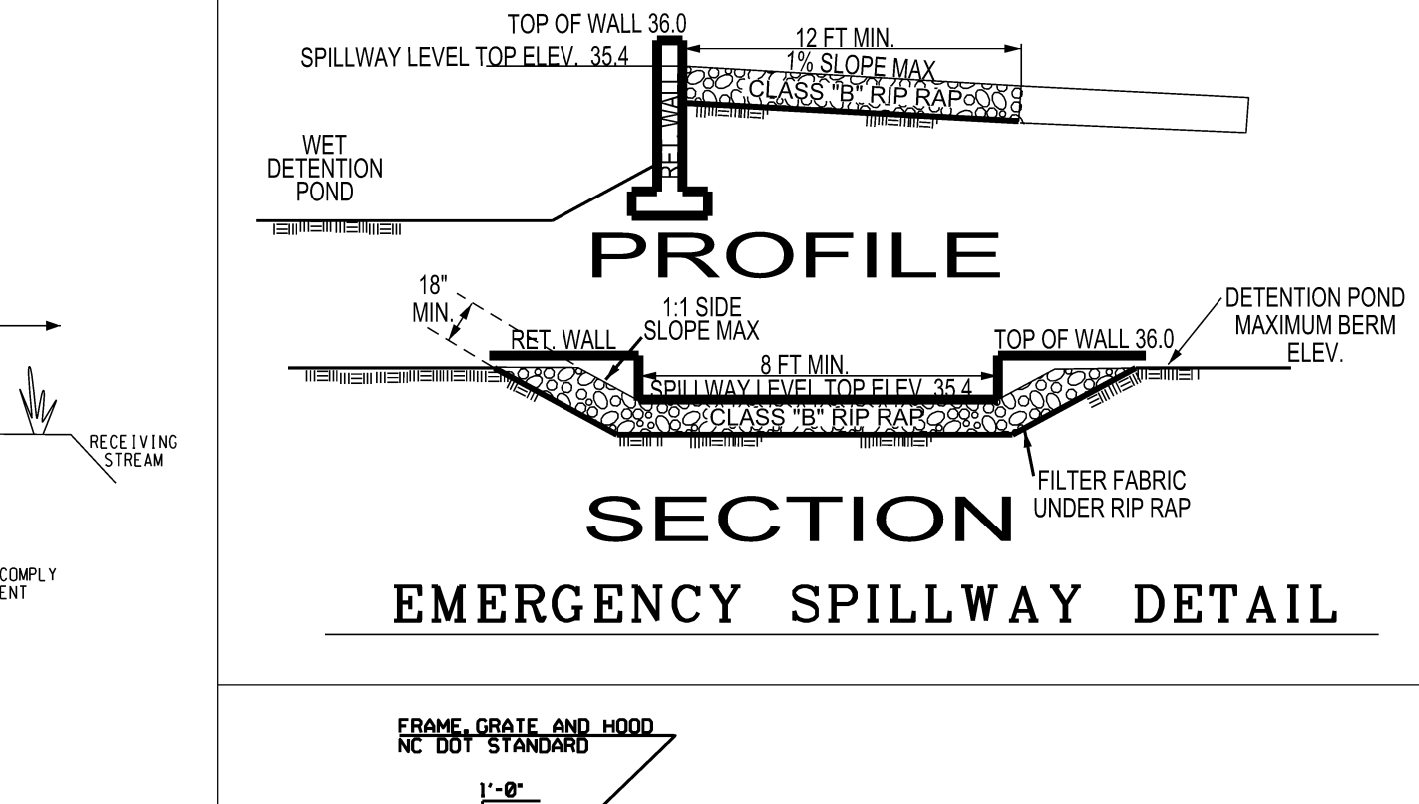
DIVERSION BERM
NTS

NPDES NOTES			
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS	
PERIMETER DICES, SWALES, AND DITCHES	7 DAYS	NONE	
HIGH QUALITY WATER (H2O) ZONES	7 DAYS	NONE	
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND FLATTER THAN 2:1 THEN 14 DAYS ARE ALLOWED.	
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH.	
OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND H2O ZONES)	

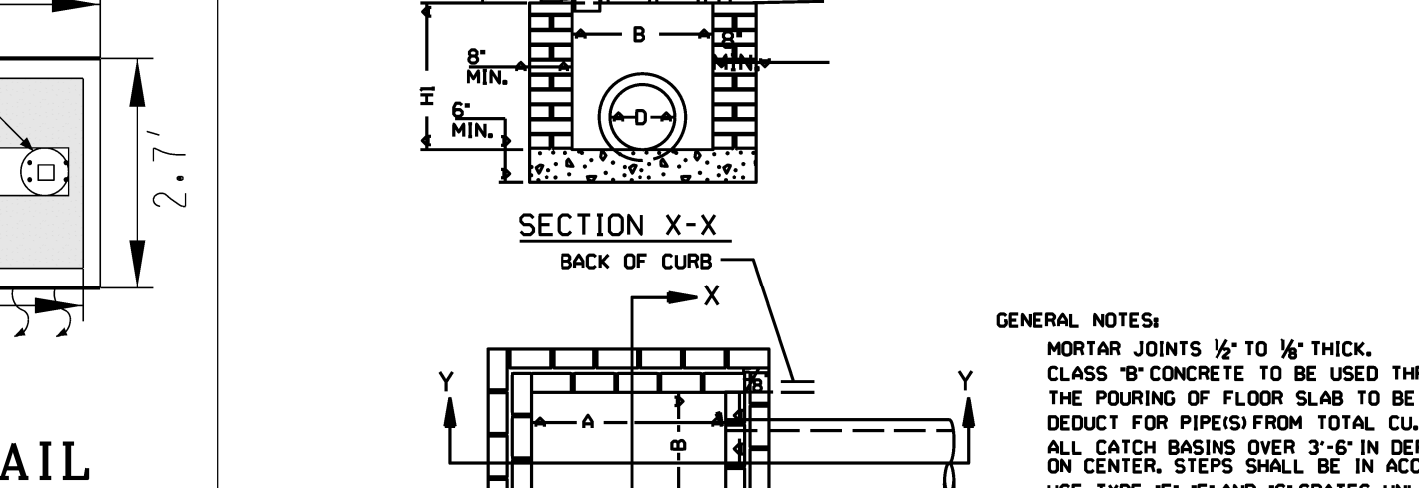
- BUILDING WASTES HANDLING**
1. NO PAINT OR LIQUID WASTES IN STREAMS OR STORM DRAINS.
 2. DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION, AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
 3. EARTHEN MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
 4. CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.

INSPECTIONS

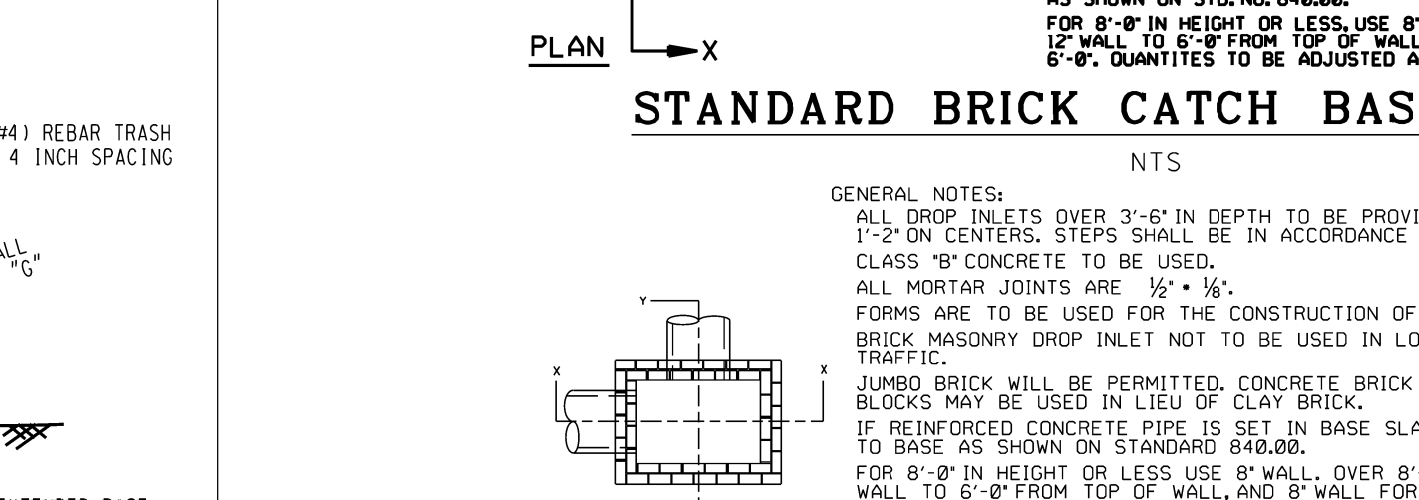
1. SAME WEALTH INSPECTION REQUIREMENTS
2. SAME RAIN GAUGE AND INSPECTIONS AFTER 0.5" RAINFALL EVENT.
3. INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL" BUSINESS HOURS.
4. INSPECTION REPORTS MUST BE AVAILABLE DURING BUSINESS HOURS UNLESS A SITE SPECIFIC EXEMPTION IS APPROVED.
5. RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
6. ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.



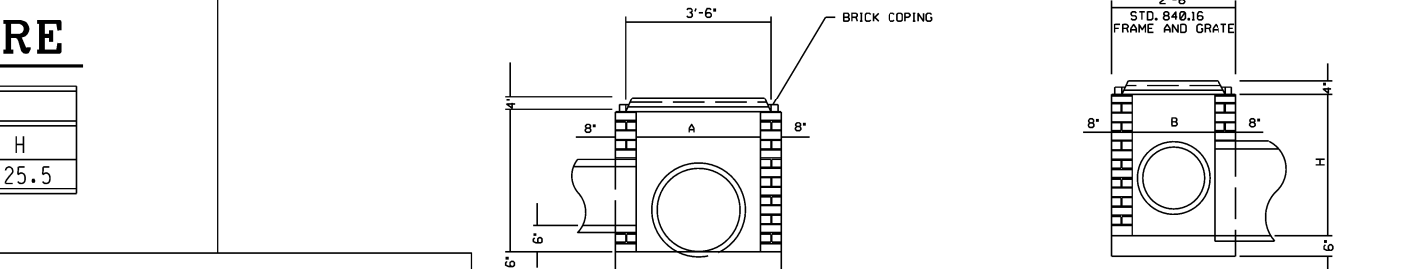
PROFILE VIEW
LEVEL SPREADER ROTATED FOR CLARITY



SECTION X-X
BACK OF CURB



STANDARD BRICK CATCH BASIN DETAIL
NTS



POND OUTLET STRUCTURE
NTS

DIMENSIONS OF AREA TO BE OPENED						
D	A	B	C	D	E	F
OS 1	31.0	3"	32.9	35.0	24.0	30"

- EROSION & SEDIMENT CONTROL MAINTENANCE PLAN**
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
 2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2" OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBTAINABLE MATERIAL SPILLED, WASHED, OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
 3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION, ROCK PIPE INLET PROTECTION, AND GUTTERBOODY INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE CLEANED FROM AROUND BEAVER DAMS, DANDY SACKS/SOCKS, AND GUTTERBOODIES ONCE A WEEK AND AFTER EVERY RAIN EVENT. NOTE THAT THE GUTTERBOODY IS REUSABLE SHOULD BE STORED OUT OF DIRECT SUNLIGHT BETWEEN JOBS.
 4. DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE RESTABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
 5. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET (MAX) WITH THE USE OF EXTRA STRENGTH FABRIC WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET (MAX) WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE USED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED, OR IS DAMAGED.
 6. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND BASINS WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. NO LONGER DRAINS OR WHEN THE ROCK IS DISLOADED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE FIRST BAFFLE. IN SKIMMER BASINS, FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
 7. ALL SEEDS ARE TO BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.
 8. FLOCCULANTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.

NPDES STABILIZATION TIMEFRAMES		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DICES, SWALES, AND DITCHES	7 DAYS	NONE
HIGH QUALITY WATER (H2O) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND FLATTER THAN 2:1 THEN 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH.
OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

APPROVED CONSTRUCTION PLAN
DATE: APRIL 16, 2020
PROJECT #: 2018020
STORMWATER PERMIT #: 2019054

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: Permit #
Signed:

SOIL EROSION, SEDIMENTATION CONTROL AND STORMWATER DETAILS
VILLAGE TOWNHOMES
(FORMERLY ARBORETUM VILLAGE)
CITY OF WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

OWNER: ARBORETUM VILLAGE, LLC
ADDRESS: 10 S. CARDINAL DRIVE WILMINGTON, N.C. 28403
PHONE:

DESIGNED: JHF
DRAWN: JHF
APPROVED: JHF
DATE: 7/16/18
SCALE: AS NOTED

STROUD ENGINEERING, P.A.
102-D CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403 (910) 815-0715 (910) 815-0593 FAX
C-0647
SHEET 5 OF 21